



# Access Report

85 Kissing Point Rd, Dundas NSW

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Upgrade to Dundas Public School

Prepared for: Department of Education (DoE)

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## Authorisation

Revision	Comment / Reason for Issue	Issue Date	Prepared by	Reviewed by
02	Access report for Review of Environmental Factors (REF)	16-Nov-24		
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## Revision History

Revision	Comment / Reason for Issue	Issue Date	Prepared by
01	Access report for Concept Design – Phase 2	8-Nov-24	Jhoana Colorado
02	Access report for Review of Environmental Factors (REF)	16-Dec-24	Peter Bedford
03	Amendment to Access report of Environmental Factors (REF)	18-Feb-25	Peter Bedford

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# 1 Executive Summary

Modern Building Consultants (MBC Group) as the appointed Access/DDA Consultant for the upgrade to Dundas Public School, we have reviewed schematic design documentation prepared by Fulton Trotter Architects, (refer appendix A) for compliance with the National Construction Code - Building Code of Australia Volume One 2022 (referred to as BCA).

## 1.1 Performance Solutions - Accessibility

The assessment of the design documentation has revealed that the following areas or items are departures from the NCC BCA 2022 and are required to be assessed against the relevant Performance Requirements of the NCC BCA 2022. These are as following:

DTS Clause	Description of Non-Compliance	Performance Requirement
D4	There is a lack of a continues accessible path of travel (CAPT) from the allotment boundary and from the existing accessible car parking bay to the new building.	D1P1
	This departure is to be address under a Performance Based Solution, to be detailed at a later stage.	
D4	Various sliding doors will not provide 530mm latch side clearances. This is a departure from BCA D4. This is to be detailed at a later stage.	D1P1

The Performance Solution noted above will be subject to consultation and approval by relevant stakeholders as part of the Crown Certification process via the performance-based design process (PBDB).

## 1.2 Areas/Rooms Proposed for Exemption - BCA Clause D4D5

The assessment of the documentation has revealed that the following area(s) or room(s) require additional documentation to demonstrate that, due to their specific use, they are inappropriate and present a health risk to people with disabilities. As a result, they do not comply with the prescriptive access provisions of the BCA Part D4.

BCA DTS Clause	Description of Non-Compliance	Exemption Performance
D4	<b>Ground Floor</b>  •BCR, CLN and Mechanical Plant	D1P1

The above only applicable if these rooms are within the scope of works. This generally applies to:

- a) *The designated areas are unsuitable for wheelchair users due to their specific operational purposes.*
- b) *These areas may pose health and safety risks for individuals with disabilities.*
- c) *Paths that provide access solely to areas exempt under conditions a) or b) are also exempt from accessibility requirements.*

Where applicable, the client must provide a letter explaining why these exemptions are relevant (e.g., storage of heavy equipment, furniture, hazardous substances, etc.) and clearly identify the locations.

Any exemption will be subject to consultation and approval by relevant stakeholders as part of the Crown Certificate process.

## 2 Introduction

This Accessibility report has been prepared to support a Review of Environmental Factors (REF) for the Department of Education (DoE) for the upgrade of the Dundas Public School (DPS) (the activity). The purpose of the REF is to assess the potential environmental impacts of the activity prescribed by State Environmental Planning Policy (Transport and Infrastructure) 2021 (T&I SEPP) as “development permitted without consent” on land carried out by or on behalf of a public authority under Part 5 of the Environmental Planning and Assessment Act 1979 (EP&A Act). The activity is to be undertaken pursuant to Chapter 3, Part 3.4, Section 3.37 of the T&I SEPP and in consideration of the stakeholder and community participation plan.

The proposed activity is for upgrades to the existing DPS at 85 Kissing Point Road, Dundas NSW 2117 (the site).

### 2.1 Purpose

The purpose of this Access Report is to assess the current architectural documentation in support of Review of Environmental Factors (REF), specifically with regard to the accessibility provisions of the National Construction Code – Building Code of Australia Volume 1, Edition 2022.

The relevant provisions are primarily found in Parts D4 and F4, along with the Disability Discrimination Act (Access to Premises - Buildings) 2010 Standards and the Australian Standards (AS), which prescribe the minimum accessibility requirements for buildings. The report is therefore to assess the current design proposal against the above provisions and to outline those areas, if any, where:

- Compliance is not achieved,
- Areas may warrant redesign to achieve compliance.

### 2.2 Methodology

The methodology applied in undertaking this assessment has included: -

- A desktop review of architectural plans, as listed in Appendix A
- Recommendations to ensure the design meets the requirements of the Disability Discrimination Act (DDA), Building Code of Australia (BCA), applicable Australian Standards, and the project's enhancement.
- Discussions with the design development team to gain an understanding of the activity proposed.

## 2.3 Limitations

This statement **does not include** or imply any detailed assessment for design, compliance or upgrading for:

- Work Health & Safety Act 2011 and Regulations: Compliance with these is not covered.
- Workcover Authority Requirements: These are outside the scope of this report.
- Structural and Services Design Documentation: No assessment of these elements is included.
- BCA and Standards: Only the sections directly referenced in this report are assessed; all other parts are excluded.
- Fittings and Fixtures: Any fittings and fixtures not provided in the architectural documentation are excluded. Loose furniture shown on the plan is considered indicative only. Those responsible for furnishing should ensure their layout does not cause circulation deficiencies per AS 1428.1-2009.
- Crossfalls and Floor Levels: These are excluded if not provided in the documentation.
- Regulatory Authorities: Requirements from other authorities, such as Telstra, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Workcover, and Roads and Maritime Services, are not included.
- Australian Standards: Unless specifically referred to, these are not assessed.
- Services and Equipment: Any operating services or equipment within the design are not covered.
- Federal, State, and Local Policies/Legislation: Only those directly referenced in this report are included.
- Disability Discrimination Act 1992 (DDA): Although this report covers the Disability (Access to Premises – Buildings) Standards 2010 according to BCA accessibility requirements, adhering to the DDA does not ensure protection from complaints. The DDA is outcome-focused and does not provide specific compliance measures.
- The recommendations in this report represent the professional opinion and interpretation of MBC DDA and Access division and may differ from those of other consultants
- Any drawings not included in Appendix A at the end of this report are not reviewed.

## 3 Applicable Legislation Framework

### 3.1 Legislative Provisions

The report is based upon the following legislation and Standards pertaining to access for people with disabilities:

- The Commonwealth Disability Discrimination Act 1992 (DDA),  
<https://www.legislation.gov.au/Details/C2022C00367>
- Disability (Access to Premises (Buildings) Standards 2010 Access Code for Buildings 2010 (DAPS),  
<https://www.legislation.gov.au/Details/F2010L00668>
- Disability (Access to Premises – Buildings) Amendment Standards 2020 Government of Australia, <https://www.legislation.gov.au/Details/F2020L01245>
- The National Construction Code - Building Code of Australia Volume One 2022 (referred to as BCA).

#### **Australian Standards series for Access, Mobility Specific and Guidelines**

- AS1428.1:2009 - General Requirements for Access – New Building Work
- AS1428.4.1:2009 - Means to Assist the Orientation of People with Vision Impairment
- AS1428.2:1992 - Design for Access and Mobility - Enhanced and additional requirements – Buildings and Facilities
- AS1735.12:1999 - Lift Facilities for People with Disabilities

#### **NCC BCA – Building Australian Code - 2022 Specific**

- Part D4 - Access for People with Disability
- Part E3 - Lift Installations
- Part F4 - Sanitary and other Facilities

#### **Reference and Guidelines**

- City of Parramatta DCP
- Guide to the BCA, Current Version, Australian Building Codes Board,  
[www.abcb.gov.au](http://www.abcb.gov.au)
- Guideline on the Application of The Premises Standards, 2013, Australian Human Rights Commission, <https://humanrights.gov.au/our-work/disability-rights/guidelines-application-premises-standards>
- Guide to the BCA, Current Version, Australian Building Codes Board,  
[www.abcb.gov.au](http://www.abcb.gov.au)

- Guideline on the Application of The Premises Standards, 2013, Australian Human Rights Commission,  
<https://humanrights.gov.au/our-work/disability-rights/guidelines-application-premises-standards>
- AS1428.2:1992 Enhanced and Additional requirements  
<https://www.saiglobal.com/PDFTemp/Previews/OSH/as/as1000/1400/14282.pdf>
- AS1428.4.1 Draft Way-finding Standard  
<https://store.standards.org.au/reader/as-1428-4-2-2018?preview=1>
- Advisory Note February 2013 on streetscape, public, outdoor areas, fixtures, fittings and furniture, <https://humanrights.gov.au/our-work/disability-rights/publications/advisory-note-streetscape-public-outdoor-areas-fixtures>
- Advisory Note on the streetscape, public outdoor areas, fixtures, fittings, and furniture (2013).
- AS1428.1: 2021 - Part 1 General requirements for access – New building work.
- AS 1735.12:2020 - Lifts, escalators and moving walks and
- AS/NZS 2890.6:2022 - Off- street parking for people with disabilities.

This report aims to provide achievable recommendations related to the provision of access to premises based on current legislation and best practice options, enabling independent, equitable and functional access for all.

The Access is paramount in providing an inclusive environment for all users within the community. The Access Code is focused on ensuring that all users are equally catered for in society.

### **Legislative Provisions for the Upgrade of Existing Buildings**

Any new work shall comply with the BCA, that being BCA 2022.

### **Applicable Building Code of Australia (BCA)**

The proposed upgrades to existing school will be subject to compliance with the relevant requirements of the BCA 2022 as in force at the time that the application of compliance with the particular version of the BCA is the date on which tenders are issued.

### **Disability Discrimination Act 1992 (Cth) (DDA)**

The accessibility assessment process covers all aspects of infrastructure (premises), as required to meet the objectives of the Disability Discrimination Act 1992 (Cth), including, but not limited to, Section 23, which relates to access to premises and facilities that the public may enter or use.

The Act is primarily enforced through a complaints mechanism, allowing individuals who have directly or indirectly experienced unlawful discrimination to seek a conciliated outcome through the Australian Human Rights Commission. In cases of unsuccessful conciliation, individuals may bring an action in the Federal Magistrates Court or the Federal Court of Australia.

The Disability Discrimination Act (DDA) ensures consistent protection against unjust and unfavorable treatment for individuals with disabilities in Australia. It also makes it illegal to discriminate against an "associate" of a person with a disability, such as a friend, carer, or family member.

The DDA's broad definition of disability encompasses various conditions, including physical, intellectual, psychiatric, neurological, cognitive, sensory (such as low vision, deafness, or hearing impairment), learning difficulties, physical disfigurement, and the presence of disease-causing organisms in the body. This inclusive definition ensures that all individuals with disabilities are protected by the Act, promoting the principle of equal fundamental rights for people with disabilities, just like any other member of the community.

The Act applies to a wide range of life activities, including access to premises, education, the provision of goods and services, employment, and the administration of Commonwealth laws and programs.

Whenever a person with a disability wishes to access premises, including buildings, outdoor spaces, car parking areas, pathways, and facilities, it is essential to provide equitable and dignified access. The DDA mandates that appropriate adjustments be made to ensure accessibility. If adequate access is not provided, a complaint can be filed under the DDA.

Notably, the DDA takes precedence over State legislation, Standards, and Guidelines concerning disability access matters, reinforcing its pivotal role in upholding accessibility rights for people with disabilities across Australia.

### **Disability (Access to Premises- Buildings) Standards 2010 – General**

The Disability (Access to Premises – Buildings) Standards 2010 were implemented in conjunction with a revised version of the Building Code of Australia (BCA) on May 1, 2011. These standards have now become legally binding, establishing baseline access criteria for new constructions and major upgrades of buildings throughout Australia.

#### *Part 1, Clause 1.3 Objects*

- a. "To ensure that dignified, equitable, cost-effective, and reasonably achievable access to buildings, and to the facilities and services within buildings, is provided for people with disabilities."
- b. "To give certainty to building certifiers, developers, and managers that if access to buildings is provided in accordance with these standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the Act."

In contrast to building regulations, the DDA is not prescriptive. The implementation of the Premises Standards in 2010, and the corresponding changes to the BCA, marked a significant step towards achieving equal access to premises and is crucial to promoting justice and social inclusion for people with disabilities.

It is important to note that the Premises Standards are limited in scope, covering aspects of building compliance applicable under the BCA. However, the Premises Standards could address a broader range of accessibility issues, including accessibility of parklands, playgrounds, transport vehicles, building interior fit-outs, and fixtures and fittings. As a result, some features fall beyond the scope of the Premises Standards and may be subject to the general complaints provisions of the DDA.

According to the *Guidelines on the Application of the Premises Standards* (produced by the Australian Human Rights Commission in 2011), the Premises Standards serve two primary purposes:

1. *To ensure equitable and dignified access for new buildings and areas of existing buildings that undergo renovation or upgrades requiring building approval.*
2. *To provide clarity to those involved in the design, construction, certification, and management of buildings, by outlining the required level of access for buildings falling under the scope of the Premises Standards.*

The Premises Standards, outlined in the Access Code within Schedule 1, establish a set of nationally applicable Performance Requirements to enable non-discriminatory access and use of the buildings and areas they cover. They also provide technical Deemed-to-Satisfy Provisions to meet these Performance Requirements.

While the Premises Standards largely align with the BCA and reference various Australian Standards related to access and other relevant matters, they aim to offer certainty to the building industry in fulfilling access requirements for new and upgraded buildings, specifically concerning elements covered by the Premises Standards. However, it's important to recognize that not all elements and components within buildings and premises fall within the scope of the Premises Standards. The DDA has a broader scope, encompassing more aspects related to accessibility beyond what is covered by the Premises Standards or the BCA.

**Universal Design (UD)**

Access is paramount in providing an inclusive environment for all users within the community. The Access Code is focused on ensuring that all users are equally catered for in society.

It is recommended to use the Universal Design principles in all projects as this will ensure a holistic approach in the provision of access for all members of society.

There are 7 Principles and their subsequent Guidelines to be considered when undertaking the design of a new project:

No.	Principle	Guidelines
1	<b>Equitable use</b>	<p>The design is useful and marketable to people with diverse abilities.</p> <ul style="list-style-type: none"> <li>- Provide the same means of use for all users: identical whenever possible; equivalent when not.</li> <li>- Avoid segregating or stigmatizing any users.</li> <li>- Provisions for privacy, security, and safety should be equally available to all users.</li> <li>- Make the design appealing to all users.</li> </ul> <p><b>Example:</b> Online content that is designed so that it is accessible to everyone, including students who are blind and using text-to-speech software.</p>
2	<b>Flexibility in use</b>	<p>The design accommodates a wide range of individual preferences and abilities.</p> <ul style="list-style-type: none"> <li>- Provides choice in methods of use.</li> <li>- Accommodate right- or left-handed access and use.</li> <li>- Facilitate the user’s accuracy and precision.</li> </ul>

No.	Principle	Guidelines
		<ul style="list-style-type: none"> <li>- Provide adaptability to the user's pace.</li> </ul> <p><b>Example:</b> A civic facility that allows a visitor to choose to read or listen to a description of the contents of a display case employs this principle.</p>
3	<b>Simple and intuitive use</b>	<p>Use of the design is easy to understand regardless of the user's experience, knowledge, language skills, or current concentration level.</p> <ul style="list-style-type: none"> <li>- Eliminate unnecessary complexity.</li> <li>- Be consistent with user expectations and intuition.</li> <li>- Accommodate a wide range of literacy and language skills.</li> <li>- Arrange information consistent with its importance.</li> <li>- Provide effective prompting and feedback during and after task completion.</li> </ul> <p><b>Example:</b> Control buttons on specific equipment for common use (staff and visitors) are labelled with text and symbols that are simple and intuitive to understand.</p>
4	<b>Perceptible information</b>	<p>The design communicates necessary information effectively to the user, regardless of ambient conditions or the user's sensory abilities.</p> <ul style="list-style-type: none"> <li>- Use different modes (pictorial, verbal, tactile) for redundant presentation of essential information.</li> <li>- Provide adequate contrast between essential information and its surroundings.</li> <li>- Maximise "legibility" of essential information.</li> <li>- Differentiate elements in ways that can be described (i.e., make it easy to give instructions or directions).</li> <li>- Provide compatibility with a variety of techniques or devices used by people with sensory limitations.</li> </ul> <p><b>Example:</b> Broadcasting television closed captions for users (staff and visitors) with hearing loss.</p>
5	<b>Tolerance for error</b>	<p>The design minimizes hazards and the adverse consequences of accidental or unintended actions.</p> <ul style="list-style-type: none"> <li>- Arrange elements to minimize hazards and errors: most used elements, most accessible; hazardous elements eliminated, isolated, or shielded.</li> <li>- Provide warnings of hazards and errors.</li> <li>- Provide fail safe features.</li> <li>- Discourage unconscious action in tasks that require vigilance.</li> </ul> <p><b>Example:</b> provision of balustrades designed to be accessible to everyone, including students/teachers who are blind or partially blind or visitors/users.</p>
6	<b>Low physical effort</b>	<p>The design can be used efficiently and comfortably and with minimal fatigue.</p> <ul style="list-style-type: none"> <li>- Allow user to maintain a neutral body position.</li> <li>- Use reasonable operating forces.</li> <li>- Minimize repetitive actions.</li> <li>- Minimize sustained physical effort.</li> </ul> <p><b>Example:</b> Automated doors, windows, lighting, air-conditioning, etc. Sensor doors and basin and sink taps/water mixers.</p>
7	<b>Size and space for</b>	<p>Appropriate size and space are provided for approach, reach, manipulation and use regardless of user's body size, posture or mobility.</p>

No.	Principle	Guidelines
	<p><b>approach and use</b></p>	<ul style="list-style-type: none"> <li>- Provide a clear line of sight to important elements for any seated or standing user.</li> <li>- Make reach to all components comfortable for any seated or standing user.</li> <li>- Accommodate variations in hand and grip size.</li> <li>- Provide adequate space for the use of assistive devices or personal assistance.</li> </ul> <p><b>Example:</b> Adjustable workbenches for visitors, users and adjustable desks for</p>

Base Extracted from [Universal Design Principles | RL Mace Universal Design Institute \(udinstitute.org\)](http://udinstitute.org)

## 4 Project Description & Assessment Information

### 4.1 Site Description

DPS is located at 85 Kissing Point Road, Dundas. The school site is bound by Kissing Point Road to the north and Calder Road to the south. Kenworthy Street is located parallel to the site to the east as is Saint Andrews Street to the west. The site has an area of 1.99 ha and comprises 1 allotment legally known as Lot 3 DP 610.

The site currently comprises an existing co-education primary (K-6) public school with 9 permanent buildings, 6 demountable structures (1 demountable includes 2 classrooms), interconnected covered walkways, play areas, on-grade parking, sports court and green spaces with mature trees.

Majority of the buildings are 1 storey with only one 2-storey building being Building A (Admin/staff hub and amenities building). Buildings are clustered to the north of the site, with the southern part comprising of a large play area/informal sports oval and a sports court.



Figure 1 Aerial image of the site, outlined in red (Source: NearMap, taken 30 October 2024)

The proposed activity involves upgrades to the existing DPS, including the following:

- Creation of 6 new teaching spaces and 2 learning commons in a single-story building
- Installation of covered walkways connecting the new building to the existing school network
- Landscaping and external works around the new building and eastern entry
- Upgrades to site infrastructure and services to support the new building.

The intent of the activity is to increase the number of permanent teaching spaces (PTS) from 9 to 15 and students from 331 to 391.

Figure 2 below show the scope of works for the proposed activity.

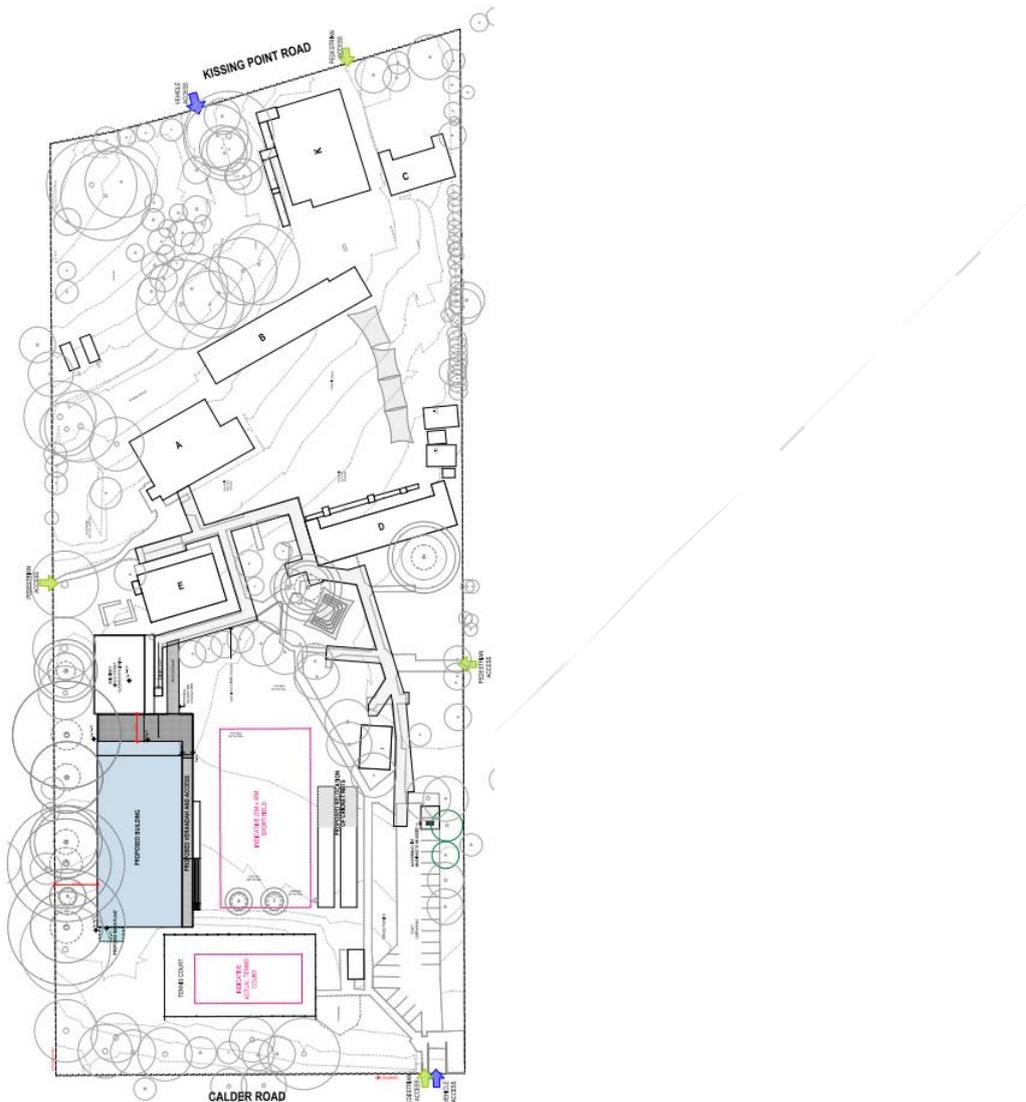


Figure 2 Proposed Scope of Works (Source: Fulton Trotter Architects, Proposed Site Plan (Rev P5))

## 4.2 Significance of Environmental Impacts

Based on the identification of potential issues, and an assessment of the nature and extent of the impacts of the proposed upgrades to Dundas School, it is determined that:

- The extent and nature of potential impacts are low and will not have significant impact on the locality, community and/or the environment.
- Potential impacts can be appropriately mitigated or managed to ensure that there is minimal impact on the locality, community and/or the environment.

### 4.3 BCA Building Classification

The proposed upgrades to existing school shall contain the following classifications: -

Classification	Descriptions	Access Requirements
Class 9b	School	Access is required to and within all areas normally used by the occupants.

## 5 Mandatory Requirements Accessibility Assessment & Recommendations for Access for People with a Disability

The following outlines the accessibility compliance of the proposed upgrades to Dundas School. The assessment is limited to the significant issues ascertainable from the current level of design detail. Further detailed assessment will be required at the Detailed Design Stage to demonstrate full compliance with the relevant access provisions.

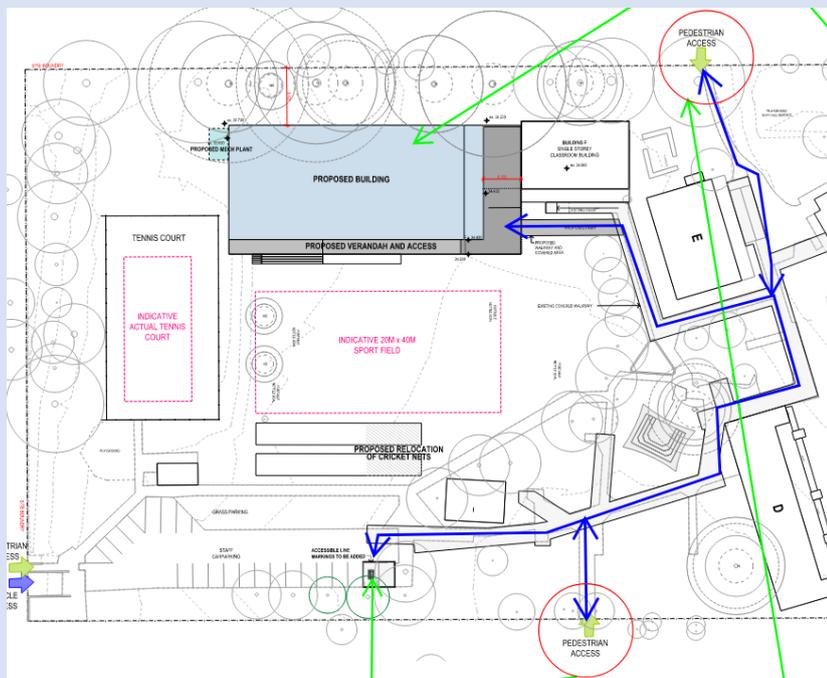
### 5.1 NCC BCA Part D4D3 –Access to Buildings (Site Connections)

An accessway to the building must be provided with a continuous accessible path of travel (CAPT) compliant with AS1428.1. Specific components are as follows:

- from the main points of a principal pedestrian entry (PPE) to the allotment boundary; and
- from another accessible building (new or existing) connected by a pedestrian link; and
- from any required accessible carparking space (new or existing) on the allotment.

#### Compliance Comments

There is currently a lack of access from the allotment boundary to the new building, as well as non-compliant access from the existing accessible car parking bay to the new building. Additionally, the existing accessible car parking itself is non-compliant. These departures will be addressed and supported under a Performance Solution, to be detailed at a later stage. The proposed access strategy includes providing an accessible car parking bay within the existing car park and ensuring compliant level access via the Green Gate at Keyworth Street or the Blue Gate at St Andrews Place.



***The requirements noted above appear capable of being achieved. Compliance with the specified clauses will be verified in detail at a later stage.***

## 5.2 NCC BCA Part D4D3 – Access to Buildings (Entrances)

In a building required to be accessible, an accessway compliant with AS1428.1 must be provided through the principal pedestrian entrance (PPE), and;

- through no less than 50% of all pedestrian entrances including the principal pedestrian entrance; and
- in a building with a total floor area more than 500 m<sup>2</sup>, a pedestrian entrance which is not accessible must not be located more than 50 m from an accessible pedestrian entrance, except for pedestrian entrances serving only areas exempted by D4D5 (service maintenance areas former D3.4 Clause).

Where a pedestrian entrance required to be accessible has multiple doorways, these are to be accessible and;

- if the pedestrian entrance consists of no more than 3 doorways – no less than 1 of those doorways must be accessible; and
- if a pedestrian entrance consists of more than 3 doorways – no less than 50% of those doorways must be accessible.

For the purposes of (3); an accessible pedestrian entrance with multiple doorways is considered to be one pedestrian entrance where –

- all doorways serve the same part or parts of the building must comply with AS1428.1; and
- the distance between each doorway is not more than the width of the widest doorway at that pedestrian entrance; and

A doorway is considered to be the clear, unobstructed opening created by the opening of one or more door leaves.

- Where a doorway on an accessway has multiple leaves, (except an automatic opening door) one of those leaves must have a clear opening width of no less than 850 mm with standard 920mm door leaf in accordance with AS 1428.1 Figures 31 and 32.
- A single door is to ensure a clear opening width of no less than 850 mm with standard 920mm door leaf in accordance with AS 1428.1 Figures 31 and 32.

A ramp complying with AS 1428.1 or a passenger lift need not be provided to serve a storey or level other than the entrance storey in accordance with NCC BCA D4D4.

Where there are level differences between internal and external areas, a threshold ramp is to be provided in accordance with AS1428.1.

### Compliance Comments

Ensure all doors in the accessible path of travel provide level thresholds.

***The requirements noted above appear capable of being achieved. Compliance with the specified clauses will be verified in detail at a later stage.***

### 5.3 Continuous Accessible Path of Travel (CAPT)

A continuous accessible path of travel is defined as an uninterrupted pathway to and from within a premises or building environment which provides linkage to all programs, goods and services within a premises or building. Therefore, the following items are located via this pathway.

- All continuous accessible paths of travel are to ensure compliance with AS1428.1. Clause 7 with 1-metre minimum clear circulation and 2.1-metres above FFL.
- Where a manual doorway on an continuous accessible path of travel (CAPT) has multiple leaves, (except an automatic opening door) one of those leaves must have a clear opening width of not less than 850 mm with standard 920mm door leaf in accordance with AS 1428.1 Figures 31 and 32.
- Where manual door latch side cannot be achieved, a Performance Solution is to be pursued which would involve the door being automated.
- A single manual door on an continuous accessible path of travel (CAPT) is to ensure a clear opening width of no less than 850 mm with standard 920mm door leaf in accordance with AS 1428.1 Figures 31 and 32.
- Doorway threshold ramp is to have a 1:8 gradient, 35mm max. height and 280mm max. length, compliant with AS1428.1. (Note: No threshold ramps are allowed inside of the building under the BCA unless open to a road, open space or are in a building class 9a)
- The distance between successive doorways in a vestibule serving an area required to be accessible is to be 1450mm (excluding the swing doors)
- 2000mm L x 1800mm W (passing bay) is to be provided where there is no line of sight (2-way corner/ L shape)
- 1500mm x 1500mm (+splay) clear circulation space is to be provided to achieve 90-degree turn.
- 2-metre length or over corridors are to provide 1540mm x 2070mm minimum clear circulation space to achieve 180-degrees.
- Turnstiles or revolving doors are to provide alternative doors (hinged or sliding) in accordance with AS1428.1.

## 5.4 Stairs, Ramps and Walkways (Common Use)

Every ramp and stairway, except for ramps and stairways in areas exempted by D4D5 (service maintenance areas former D3.4 Clause), must comply with–

- for a ramp, except a fire-isolated ramp, Clause 10 of AS 1428.1 ; and
- for a stairway, except a fire-isolated stairway, Clause 11 of AS 1428.1 ; and
- for a fire-isolated stairway, Clause 11.1(f) and (g) of AS 1428.1 ; and
- All stairs and ramps are to be 900mm offset from the allotment boundary in accordance with AS1428.1.
- All stairs and ramps are to allow suitable space for handrail extensions to be provided during a later stage. (No protrusion will be allowed at detail design stage).
- All stairs and ramps adjacent to doors are to ensure 1450mm front approach level landings.
- All walkways, ramps and stairways are to ensure a minimum 1200mm overall width and 1-metre minimum clear circulation in accordance with AS1428.1.
- Step and kerb ramps are to ensure compliance with AS1428.1.
- Curved ramps and walkways are to ensure 1500mm minimum clear width
- Stairs middle landings are to ensure an off-set tread is provided
- When turning 90-degree or 180-degrees on 1:14 ramp, walkways are to ensure 1450mm x 2070mm landings. When there is a lack of sight a passing bay of 1800mm x 2000mm is required.
- Ramps 1:14 and walkways landings are to be 1200mm (only one direction of travel)
- Ramps 1:14 and walkways landings are to be 1500mm x 1500mm (+splay) when turning 90-degrees
- A series of connected ramps must not have a combined vertical rise of more than 3.6m
- A landing for a step ramp must not overlap a landing for another step ramp or ramp

### Compliance Comments

Ensure new stair provides suitable space for handrail extensions to be provided at a later stage.

***The requirements noted above appear capable of being achieved. Compliance with the specified clauses will be verified in detail at a later stage.***

## 5.5 Sanitary and other Facilities F4D5

- A minimum size of a combined unisex accessible toilet (USAT) and shower facility room is to be 2300mm X 2630mm, to accommodate circulation to the pan (1900mm x 2300mm) and the shower facility.
- Circulation spaces, fixtures and fittings of all accessible sanitary facilities must comply with AS1428.1

- Door circulation is to ensure compliance with AS1428.1 Fig.31 or 32 or door is to be automated.
- An accessible unisex facility must be located so that it can be entered without crossing an area reserved for one gender.
- Left-hand (LH) and right-handed (RH) mirror image facilities to be even where two or more accessible unisex facilities provided. Balance is to be provided between consecutive floor with the same user.
- Where male and female facilities are separate, a unisex facility is only required at one location.
- Accessible unisex sanitary compartment or shower need not be provided on a storey that is not required to be provided with a lift or ramp access
- The distance between successive doorways in a vestibule serving an area required to be accessible is to be 1450mm (excluding door swing)
- Accessible facilities must meet the requirements of Section 15 of AS1428.1
- At each bank of toilets where there is one or more toilets, in addition to an accessible unisex sanitary compartment provided at that bank, a sanitary compartment suitable for a person with an ambulant disability must also be provided for use by males and females.
- The ambulant facilities must comply with the requirements of Clause 16 of AS1428.1:2009. This includes 900mm x 900mm clear circulation spaces in front of the pan, outside of the cubicle and at the entry door (this is to exclude the door swing)

**Compliance Comments**

*The requirements noted above appear capable of being achieved. Compliance with the specified clauses will be verified in detail at a later stage.*

**5.6 Communal and Exempted Areas – BCA D4D5**

Under the DDA Premises Standards and BCA all common use rooms normally used by occupants of the building are to be accessible, except areas exempt under BCA D4D5 (former D3.4) Services /maintenance only use areas, which are areas where access would be inappropriate because of the particular purpose for which the area is used or that would pose a health or safety risk for people with a disability.

- Accessibility is required to common use terraces, open/outdoor spaces within buildings.

**Compliance Comments**

- Ensure sports field provide level access.

*The requirements noted above appear capable of being achieved. Compliance with the specified clauses will be verified in detail at a later stage.*

## 6 Conclusion

This report has reviewed the documentation submitted for Dundas Public School. This is in line with the proposed new primary school provisions for “Access for People with Disabilities.” The significance of ensuring inclusive and equitable access cannot be overstated, as it contributes to a more dignified and supportive environment for all.

The evaluation was conducted in accordance with the Deemed-to-Satisfy provisions of the National Construction Code Series (Volume 1) Building Code of Australia 2022, the Australian AS1428 Suite, and the DDA Premises Standards. Based on the proposed documentation provided, the current design effectively addresses the necessary accessibility requirements at this stage.

In view of this assessment, we can confirm that compliance with the applicable codes and standards is readily achievable, and no mitigation measures are required.

We trust that this information is helpful. Should you wish to discuss any aspect of this advice, please do not hesitate to contact the undersigned.

Best regards,

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Peter Bedford  
**Access Consultant**  
MBC Group

## 7 Appendix A – Architectural Plans Reviewed

The following documentation, prepared by Fulton Trotter Architects was used in the assessment and preparation of this report: -

Drawing No.	Title	Date	Prepared by	Rev
DUPS-FTA-B00L-GF-DR-A-2101	GROUND FLOOR PLAN	09/12/2024	JW	03
DUPS-FTA-B00L-ZZ-DR-A-6002	INTERNAL DOOR & WINDOW SCHEDULE	09/12/2024	JW	02
DUPS-FTA-B00L-ZZ-DR-A-4401	STAIR AND RAMP DETAILS	09/12/2024	JW	01



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